

IN RE: PETITIONS FOR SPECIAL EXCEPTION * BEFORE THE
AND ZONING VARIANCE - E/S * ZONING COMMISSIONER
Reisterstown Road, 225' S of *
Chartley Road * OF BALTIMORE COUNTY
(605 Reisterstown Road)
4th Election District * Case No. 91-123-XA
3rd Councilmanic District
Bernard C. Schisler
Petitioner

FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioner herein requests a special exception for a Class "B" office building on the subject property and a variance to permit a landscape buffer of 12 feet in lieu of the required 20 feet for a property line abutting a residentially zoned property, and 8 feet in lieu of the required 10 feet for a non-residential buffer, all as more particularly described on Petitioner's Exhibit 1.

The Petitioner appeared, testified and was represented by Lloyd J. Hammond, Esquire. Also appearing on behalf of the Petition was Paul Lee, Professional Engineer. There were no Protestants.

Testimony indicated that the subject property, known as 605 Reisterstown Road, consists of 1.309 acres more or less zoned R.O. and is presently vacant. Said property was the subject matter of previous Case No. 86-141-X in which a special exception for a Class B office building on the subject site was granted on October 17, 1985. Testimony indicated that the special exception expired prior to its utilization. Petitioner is desirous of developing the property with a two-story Class "B" office building as depicted on Petitioner's Exhibit 1. Testimony indicated that the proposed office building will contain approximately 20,000 sq.ft. of office space and will be of brick construction, consistent with the architectural scheme in this area.

Paul Lee testified that in his opinion, the Petitioner's request is consistent with the requirements of Section 502.1 of the Baltimore County Zoning Regulations (B.C.Z.R.). Additionally, Mr. Lee testified that should the requested variance relief be denied, the Petitioner would suffer an undue hardship and practical difficulty in view of the topography of the subject site. Mr. Lee also noted that Petitioner's request for a building containing 20,000 sq.ft. of office space is less than that originally approved in Case No. 86-141-X and, in his opinion, would have no detrimental impact on this community.

It is clear that the B.C.Z.R. permits the use proposed in a R.O. zone by special exception. It is equally clear that the proposed use would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined if the conditions as delineated in Section 502.1 are satisfied.

The Petitioner had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1 of the B.C.Z.R. The Petitioner has shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioner's Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a special exception use, irrespective of its location within the zone. *Schultz v. Pritts*, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes

of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the B.C.Z.R.

After reviewing all of the testimony and evidence presented, it appears that the special exception should be granted with certain restrictions as more fully described below.

Based upon the testimony and evidence presented at the hearing, all of which was uncontradicted, in the opinion of the Zoning Commissioner the relief requested sufficiently complies with the requirements of Section 307 of the Baltimore County Zoning Regulations (B.C.Z.R.) and, therefore, should be granted. There is no evidence in the record that the subject variance would adversely affect the health, safety, and/or general welfare of the public. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Pursuant to the advertisement, posting of the property, and public hearing on these Petitions held, and for the reasons given above, the relief requested in the special exception and variance should be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this 21st day of December, 1990 that the Petition for Special Exception for a Class "B" office building on the subject property and a variance to permit a landscape buffer of 12 feet in lieu of the required 20 feet for a property line abutting a residentially zoned property, and 8 feet in lieu of the required 10 feet for a non-residential buffer, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject, however, to the following restrictions which are conditions precedent to the relief granted:

1) The Petitioner may apply for his building permit and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original condition.

2) Petitioner shall comply with all conditions and requirements set forth in the comments submitted by the Office of Planning dated November 26, 1990.

3) All exterior lighting on the subject site shall comply with the specifications set forth in Petitioner's correspondence to the Zoning Commissioner dated November 28, 1990, identified as Zoning Commissioner's Exhibit 1.

4) Medical offices and/or services shall make up not more than 25% of the maximum leasable office space in the subject facility.

5) The Petitioner shall provide a landscape plan to the Office of Current Planning for approval by the Baltimore County Landscape Planner. A copy of the approved plan shall be submitted to the Zoning Commissioner for approval and inclusion in the case file.

J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner
for Baltimore County

PETITION FOR SPECIAL EXCEPTION

TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for a Class "B" office building. See previous Case No. 86-141X granting a special exception, now expired.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser: _____
(Type or Print Name)
Signature: _____
Address: _____
City and State: _____
Attorney for Petitioner: _____
LLOYD J. HAMMOND
(Type or Print Name)
Signature: *Lloyd J. Hammond*
616 Main Street
Reisterstown, MD 21136
City and State
Attorney's Telephone No.: 833-7576

Legal Owner(s):
BERNARD C. SCHISLER
(Type or Print Name)
Signature: *Bernard C. Schisler*
616 Main Street
Reisterstown, MD 21136
City and State
Name, address and phone number of legal owner, contractor, purchaser or representative to be contacted
Bernard C. Schisler
BERNARD C. SCHISLER
616 Main St., Reisterstown, MD 526-4680
Address Phone No.

ORDERED By The Zoning Commissioner of Baltimore County, this 5th day of Sept, 1990, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore County, on the 8th day of Nov, 1990, at 2:50 o'clock

J. Robert Haines
Zoning Commissioner of Baltimore County.

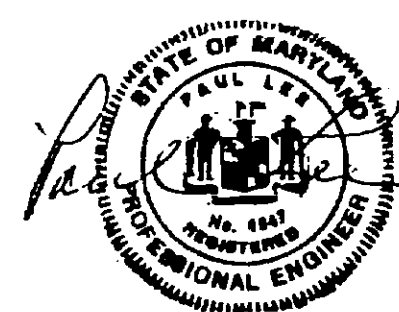
Paul Lee P.E.

Paul Lee Engineering Inc.
304 W. Pennsylvania Ave.
Towson, Maryland 21204
821-5941

DESCRIPTION

#605 Reisterstown Road - 1.309 Acre Parcel
4th Election District Baltimore County, Maryland

Beginning for the same at a point, said point being located on the east side of Reisterstown Road 225 feet plus or minus from the center of Chartley Boulevard; thence leaving said east side of Reisterstown Road the three following courses and distances:
(1) N 45°31'15" E - 331.00 feet
(2) S 43°40'25" E - 173.25 feet
(3) S 45°46'30" W - 329.73 feet
to the east side of Reisterstown Road, thence binding on the east side of Reisterstown Road (4) N 44°05'25" W to the point of beginning.

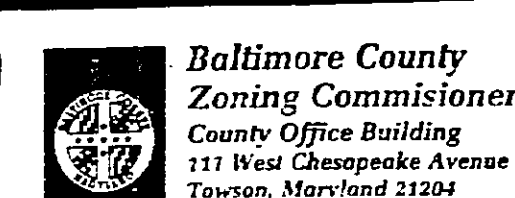


Engineers — Surveyors — Site Planners

CERTIFICATE OF POSTING

ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

District: 4th Date of Posting: December 9, 1990
Posted for: Special Exception and Variance
Petitioner: Bernard C. Schisler
Location of property: 605 Reisterstown Road, 225' S Chartley Boulevard
Location of Signs: East side of Reisterstown Road, on front of subject property
Remarks: _____
Posted by: _____ Signature _____ Date of return: December 16, 1990
Number of Signs: 2



Date: 8/14/90
PUBLIC HEARING FEES QTY PRICE
020 - ZONING VARIANCE (OTHER) 1 X \$175.00
050 - SPECIAL EXCEPTION 1 X \$175.00
TOTAL: \$350.00
LAST NAME OF OWNER: SCHISLER

receipt

No 3187

Account: R001-8150
Number

HF100061

04404#0000#NCHRC \$350.00
BA C002128PM06-14-90
Please make checks payable to: Baltimore County NEXT BUSINESS DAY

CERTIFICATE OF PUBLICATION

Pikesville, Md., 10/10 1990
THIS IS TO CERTIFY, that the annexed advertisement was published in the NORTHWEST STAR, a weekly newspaper published in Pikesville, Baltimore County, Maryland before the 11th day of OCT, 1990
the first publication appearing on the 10th day of OCT, 1990
the second publication appearing on the _____ day of _____, 19____
the third publication appearing on the _____ day of _____, 19____

THE NORTHWEST STAR

Manager *Jon Baile*

Cost of Advertisement \$ 245

BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT
8/22/90
Date
Zoning Commissioner
Office of Planning and Zoning
County Office Building
Towson, Maryland 21204
Zoning Item # 61, Zoning Advisory Committee Meeting of September 4, 1990
Property Owner: Bernard C. Schisler District: 4
Location: 605 Reisterstown Road
Water Supply: metro Sewage Disposal: metro
COMMENTS ARE AS FOLLOWS:
() Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for use existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Bureau of Regional Community Services, for final review and approval.
(X) Prior to new installation(s) of fuel burning equipment, the owner shall contact the Bureau of Air Quality Management, 887-3775, to obtain requirements for such installation(s) before work begins.
() A permit to construct from the Bureau of Quality Management is required for such items as spray paint processes, underground gasoline storage tank(s) (5,000 gallons or more) and any other equipment or process which exhausts into the atmosphere.
() A permit to construct from the Bureau of Air Quality Management is required for any chabroiler generation which has a total cooking surface area of five (5) square feet or more.
() Prior to approval of a Building Permit Application for renovations to existing or construction of new health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval.
() Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and sewage facilities or other amusements pertaining to health and safety, two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Environmental Protection and Resource Management for review and approval. For more complete information contact the Water Quality Monitoring Section, Bureau of Regional Community Services, 687-6500 x 315.
() Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulations. For more complete information, contact the Division of Maternal and Child Health.
() If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with the State Department of the Environment.
(X) Prior to razing of existing structure(s), petitioner must contact the Division of Waste Management at 887-3785, regarding removal and/or disposal of potentially hazardous materials and solid wastes. Petitioner must contact the Bureau of Air Quality Management regarding removal of asbestos, 887-3775.
() Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and tank removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Waste Management at 887-3785.
() Soil percolation tests, have been _____ must be _____ conducted.
() The results are valid until _____
() Soil percolation test results have expired. Petitioner should contact the Division of Water and Sewer to determine whether additional tests are required.
() Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled.
() In accordance with Section 13-117 of the Baltimore County Code, the water well yield test _____ shall be valid until _____.
() is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Application.
() Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples.
(X) If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted. For more information contact the Division of Environmental Management at 887-3785.
() In order to subdivide this property, the owner or developer will be required to comply with the subdivision regulations of the State of Maryland and Baltimore County. If there are any questions regarding the subdivision process, please contact the Land Development Section at 887-2762.
() Others _____
M. J. Haines 9/14/90
BUREAU OF WATER QUALITY AND RESOURCE MANAGEMENT

Baltimore County
Fire Department
700 East Joppa Road, Suite 901
Towson, Maryland 21204-5500
(301) 887-4500
Paul H. Reincke
Chief
SEPTEMBER 6, 1990
J. Robert Haines
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, MD 21204
RE: Property Owner: BERNARD C. SCHISLER
Location: #605 REISTERSTOWN ROAD
Item No.: 61 Zoning Agency: SEPTEMBER 4, 1990
Gentlemen:
Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.
5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1988 edition prior to occupancy. CHAPTER 26
REVIEWER: C. H. Long, 9-640 Noted and Approved Captain J. E. Brackley
Planning Group Fire Prevention Bureau
Special Inspection Division
JK/KEK

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE
September 11, 1990
TO: J. ROBERT HAINES, ZONING COMMISSIONER, DEPARTMENT OF ZONING
FROM: CHARLES E. BURNHAM, PLANS REVIEW CHIEF, DEPARTMENT OF PERMITS & LICENSES
SUBJECT: ZONING ITEM #: 61
PROPERTY OWNER: Bernard C. Schisler
LOCATION: E/S Reisterstown Road, 225' S Chartley Boulevard (#605 Reisterstown Road)
ELECTION DISTRICT: 4th
COUNCILMANIC DISTRICT: 3rd
A REVIEW OF THE SITE PLAN FOR THE ABOVE ZONING ITEM INDICATES THE FOLLOWING:
() PROPOSED SITE PLAN DOES, DOES NOT, COMPLY TO STATE CODE OF MARYLAND REGULATION 05.01.07, MARYLAND BUILDING CODE FOR THE HANDICAPPED.
() PARKING LOCATION () RAMPS (degree slope)
() NUMBER PARKING SPACES (X) CURB CUTS
() BUILDING ACCESS (X) SIGNAGE
() PLAN DOES, DOES NOT COMPLY TO SET BACKS FOR EXTERIOR FIRE SEPARATION DISTANCE OF ARTICLE 5 AND ARTICLE 9 OF THE CURRENT BALTIMORE COUNTY BUILDING CODE.
(X) A BUILDING PERMIT IS REQUIRED BEFORE ANY CONSTRUCTION CAN BEGIN. SECTION 111.1 OF ARTICLE 1. CONSTRUCTION DRAWINGS MAY BE REQUIRED.
() A CHANGE OF OCCUPANCY PERMIT IS REQUIRED TO CHANGE THE EXISTING USE OF THE STRUCTURE TO THE PROPOSED USE. SEE ARTICLE THREE AND ARTICLE ONE, SECTION 103.2 ALTERATIONS MAY BE NECESSARY BY CODE TO COMPLY TO NEW USE REQUIREMENTS.
() STRUCTURE IS SUBJECT TO FLOOD PLAIN LIMITATIONS, SECTION 516.0 COUNCIL BILL #138-88 (BALTIMORE COUNTY BUILDING CODE).
() OTHER -
PERMITS MAY BE APPLIED FOR @ ROOM 100, 111 WEST CHESAPEAKE AVENUE, TOWSON, MARYLAND 21204 - PHONE - 887-3900.
THIS REVIEW COVERS ONLY MAJOR ITEMS ASSOCIATED WITH THE SITE PLAN, A FULL REVIEW MAY BE CONDUCTED WHEN THE PERMIT APPLICATION AND PLANS ARE SUBMITTED.
APPLICABLE CODE: 1987 NATIONAL BUILDING CODES AS ADOPTED BY COUNCIL BILL #138-88

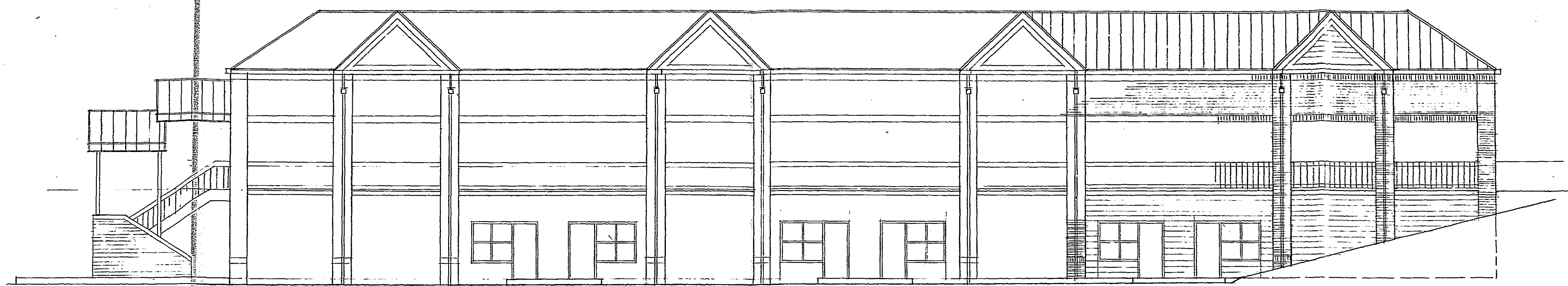
BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE
TO: Zoning Advisory Committee DATE: August 30, 1990
FROM: Robert W. Bowling, P.E.
RE: Zoning Advisory Committee Meeting for September 4, 1990
The Developers Engineering Division has reviewed the subject zoning items and we have no comments for Items 52, 55, 59, 60, 63, 65, 68, 69 and 70.
For Item 58, a County Review Group Meeting is required.
For Items 45, 62 and 68, the previous County Review Group comments still apply.
For Item 57, the topography shows a pole at corner of drive that will interfere with widening. Half paving width of Sulphur Spring Road is 21 feet, right-of-way equals 30 feet (not shown on plan). Entrance apron to be 7-inch concrete on 4-inch CR-6, similar to Plate R-32.
For Item 61, a revised County Review Group Meeting is needed. Original County Review Group Meeting under "Chartley Building" was for one story office.
For 91-42-A, Maryland National Bank Reconstruction, we have no comments.
Robert W. Bowling, P.E. Chief
Developers Engineering Division
RWB:s

Baltimore County Government
Zoning Commissioner
Office of Planning and Zoning
111 West Chesapeake Avenue
Towson, MD 21204
887-3553
December 21, 1990
Lloyd J. Hammond, Esquire
616 Main Street
Reisterstown, Maryland 21136
RE: PETITIONS FOR SPECIAL EXCEPTION AND ZONING VARIANCE
2/8 Reisterstown Road, 225' S of Chartley Road
(605 Reisterstown Road)
4th Election District - 3rd Councilmanic District
Bernard C. Schisler - Petitioner
Case No. 91-123-XA
Dear Mr. Schisler:
Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petitions for Special Exception and Zoning Variance has been granted in accordance with the attached Order.
In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact Ms. Charlotte Radcliffe at 887-3391.
Very truly yours,
J. Robert Haines
J. ROBERT HAINES
Zoning Commissioner
for Baltimore County
JRH:bjs
cc: People's Counsel
File

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE
TO: J. Robert Haines DATE: October 10, 1990
Zoning Commissioner
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
SUBJECT: Bernard C. Schisler, Item No. 61
The Petitioner requests a Special Exception for a Class "B" office building. (See previous Case No. 86-141X granting a special exception, now expired, and a variance to permit a 12 ft. and 8 ft. landscape buffer.)
In reference to this request, staff offers the following comments:
- The Petitioner's proposal originally received CRG approval on July 18, 1985. While a revised amended plan was approved on June 8, 1988, CRG approval expired on July 18, 1988. Consequently, the current proposal for this site will require a CRG hearing or waiver.
- The proposal is also subject to Section 22-104 of the Development Regulations and Section 203.3 of the B.C.Z.R. as modified by Bill No. 151-88, which was enacted some time after the property originally received CRG approval.
This site represents an opportunity to bring improved design quality to this part of Reisterstown Road. Particular attention should be given to the architectural, landscaping, sign, and lighting treatment of the property.
- Staff believes that every effort should be made to increase the area of landscape treatment along Reisterstown Road, even if such treatment would result in the reduction of open space within the interior portions of the site.
- Prior to the issuance of any building permits, the Petitioner shall submit elevation drawings and a landscape plan to the deputy director of the Office of Planning and Zoning.

Bernard C. Schisler, Item No. 61
Page 2
October 10, 1990
If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.
PK/JL/cmm
ITEM61/ZAC1

BALTIMORE COUNTY, MARYLAND
INTER-OFFICE CORRESPONDENCE
TO: J. Robert Haines DATE: November 26, 1990
Zoning Commissioner
FROM: Pat Keller, Deputy Director
Office of Planning and Zoning
SUBJECT: Bernard C. Schisler, Item No. 61
REVISED COMMENTS
Staff has met with the applicant's engineer, Paul Lee. This office has requested that the Petitioner's plat be revised to indicate an enhanced landscape treatment along the front portion of the lot, which results in the elimination of eight parking spaces. While amenity open space has been reduced within the parking area per this office's recommendation, the overall site design will function in a more appropriate fashion.
If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.
PK/JL/cmm
ITEM61.REV/ZAC1



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION REISTERSTOWN RD



SOUTH ELEVATION 1/8"=1'-0"

CHARTLEY OFFICE BUILDING
REISTERSTOWN, MARYLAND
BALTIMORE COUNTY

Revisions:

Released For:
☒ Preliminary Only 4/1/89
☐ Bidding
☐ Permits
☐ Construction

Date:
Project No.:
Drawn:
Designed:
Check:

Title:
ELEVATIONS

ZONING COMMISSIONER'S
EXHIBIT # 2

A3

GENERAL NOTES

- THE DESIGN AND CONSTRUCTION DOCUMENTS HEREWITH HAVE BEEN PREPARED IN ACCORDANCE WITH THE 1987 EDITION OF THE B.O.C.A. BUILDING CODE, AMENDED, AND NECA 101 LIFE SAFETY CODE, 1988 EDITION. THE PROVISIONS OF AIA DOCUMENT A-201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," 1987 EDITION, SHALL BE MADE PART OF THE CONTRACT.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, ORDINANCES, AND REGULATIONS.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS. CONTRACTOR(S) SHALL FOLLOW IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF THE LAW AT THE PLACE OF CONSTRUCTION. THE OWNER WILL OBTAIN THE GENERAL BUILDING PERMIT PRIOR TO WORK COMMENCEMENT.
 - THE GENERAL CONTRACTOR SHALL MAKE ARRANGEMENTS AND PAY FOR ALL TEMPORARY PHONE, ELECTRICAL, GAS OR OIL, AND WATER SERVICE TO THE DATE OF SUBSTANTIAL COMPLETION.
 - CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, SPECIFICATIONS, AND OTHER INFORMATION PREPARED BY THE ARCHITECT, AS TO FIGURES AND METHODS OF CONSTRUCTION, USING THEREIN THE SKILL AND EXPERIENCE FOR WHICH HE RECEIVES COMPENSATION UNDER THIS CONTRACT. HE SHALL IMMEDIATELY REPORT TO THE ARCHITECT FOR RECTIFICATION OF ANY ERROR, INCONSISTENCY, OR OMISSION THEREIN. FAILURE BY THE CONTRACTOR TO REPORT ANY EXCEPTIONS TO THE OWNER/ARCHITECT BEFORE THE CONTRACTS ARE SIGNED WILL IMPLY A COMPLETE ACCEPTANCE OF THE DESIGN AND ALL CONDITIONS OF THE CONTRACT AND SITE.
 - CONTRACTOR SHALL COORDINATE ALL WORK, ALL TRADES, AND SHALL VERIFY ALL DIMENSIONS, METHODS OF CONSTRUCTION, EXISTING CONDITIONS, AND PROPOSED NEW CONSTRUCTION PRIOR TO COMMENCING ANY WORK. MATERIAL ORDERING, OR FABRICATION. ALL WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER(S) AND ARCHITECT.
 - CONTRACTOR SHALL NOT SCALE DRAWINGS AT ANY TIME. IF ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR(S), HE SHALL NOTIFY ARCHITECT.
 - UTILITIES ENCOUNTERED SHALL BE REPAIRED, IF BROKEN BY THE CONTRACTOR, AT HIS ENTIRE COST AND EXPENSE. THEREFORE, EXTREME CAUTION SHOULD BE EXERCISED WITH EXCAVATION.
 - CONTRACTOR SHALL PATCH OR REPAIR WITH NEW, AT ARCHITECT'S DISCRETION, ANY WORK DAMAGED OR DISTURBED AS A RESULT OF WORK PERFORMED BY CONTRACTOR.
 - CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL OCCUPANCY CERTIFICATE. FULL RELEASE OF LIENS IS REQUIRED. CONTRACTOR SHALL PROVIDE ALL GUARANTEES AND WARRANTIES TO OWNER BEFORE FINAL PAYMENT.
 - THE CONTRACTOR(S) SHALL MAKE ARRANGEMENTS WITH THE OWNER FOR STAGING/STORAGE AREAS REQUIRED AT THE SITE. ANY ADDITIONAL OFF-SITE REQUIRED STAGING AND STORAGE AREAS SHALL BE PROVIDED BY THE CONTRACTOR AT HIS DISCRETION AND AT NO ADDITIONAL COST TO THE OWNER. LOCATION AND SIZE OF ANY ADDITIONAL CONTRACTOR'S STAGING OR STORAGE AREAS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
 - PREMISES SHALL ALWAYS REMAIN BROOD CLEAN. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM AREA, AND DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE OF MARYLAND CODES. ALL FEES FOR DUMPING SHALL BE INCLUDED IN BASE BID.
 - ALL OPENINGS, CONCRETE PADS, STEEL FRAMES, AND OTHER SUPPORTS AS REQUIRED BY SHALL BE VERIFIED BY CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY INSERTS, SLEEVES, CLIPS, ANCHORS, AND MISCELLANEOUS DEVICES AS MAY BE REQUIRED FOR CONSTRUCTION. DIMENSIONS AND LOCATION OF THESE ITEMS SHALL BE VERIFIED.
 - PROVIDE ALL NECESSARY WEATHERSTRIPPING, SEALANTS, HARDWARE, TRIM, AND MISCELLANEOUS ACCESSORIES TO COMPLETE JOB IN A FIRST CLASS WORKMANLIKE MANNER.
 - ALL PENETRATIONS THROUGH WALLS AND THROUGH FLOORS, ROOFS, ETC., WHICH ARE FIRE-RATED SHALL BE FIRE-STOPPED AND SEALED WITH FIRE-SAFING MATERIALS; THROUGH EXTERIOR WALLS/OTHER EXTERIOR SURFACES SHALL BE SEALED WITH NONHARDENING SEALANT APPROVED BY THE ARCHITECT.
- TEMPORARY WORK AND CONSTRUCTION**
- THE WORK UNDER THIS CONTRACT INCLUDES ALL NECESSARY TEMPORARY ITEMS REQUIRED IN GOOD, SAFE CONSTRUCTION PRACTICE AND ADMINISTRATION OF THE PROJECT.
 - ALL TEMPORARY WORK, EXCEPT AS SPECIFICALLY STATED, SHALL BE REMOVED BY TIME OF FINAL ACCEPTANCE OF THE PROJECT.
 - PROTECTION OF WORK, STORAGE, AND TRANSPORTATION OF MATERIALS:
 - ALL MATERIALS SHALL BE PROTECTED FROM MOISTURE. ALL STORAGE OF MATERIALS SHALL BE PLACES SO AS NOT TO CAUSE OVERLOADING OF STRUCTURE, AND LOCATION SHALL BE APPROVED BY OWNER.
 - PROTECTING WORK IN PLACE: PROVIDE ALL NECESSARY PROTECTION OF COMPLETED WORK TO PREVENT ANY AND ALL DAMAGES.
 - CLEARING AND CLEANING UP: THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL RUBBISH, ALL OF HIS TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK COMPLETELY CLEAN.
 - SAFETY PRECAUTIONS:
 - NIGHT LIGHTING: PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY LIGHTING DEVICES AS MAY BE REQUIRED TO MARK HAZARDS AND OBSTRUCTIONS PROPERLY.
 - SIGNS OF WARNING SHALL BE PROVIDED IF NECESSARY TO DEFINE CLEARLY ANY AREAS OF DANGER.
 - LIFTING DEVICES FOR MATERIALS AND SCAFFOLDS: SUPPLY ALL LIFTS, HOISTS, ETC., FOR SAFE AND EFFICIENT MOVEMENT OF ALL MATERIALS. ALL SHALL BE PROVIDED WITH PROPER GUYS BRACING AND SAFETY DEVICES AS REQUIRED BY O.S.H.A. LAWS AND/OR GOOD PRACTICE. PROVIDE ALL SUBSTANTIALLY CONSTRUCTED SCAFFOLDS AT PROPER HEIGHTS AND OF APPROPRIATE STRENGTH AND SIZE TO ACCOMMODATE THE WORK OF THE VARIOUS TRADES.
- CUTTING AND PATCHING**
- ALL CUTTING, REMOVAL, AND ALTERING REQUIRED FOR THE COMPLETE INSTALLATION OF THE SPECIFIED WORK SHALL BE PERFORMED BY THE CONTRACTOR.
 - EXISTING WORK SHALL BE CUT, DRILLED, ALTERED, REMOVED OR TEMPORARILY REMOVED, AND REPLACED AS NECESSARY. WORK THAT IS REPLACED SHALL MATCH ADJACENT SURFACES, OR SHALL NOT BE CUT OR ALTERED. WORK REMAINING IN PLACE, WHICH IS DAMAGED DURING THIS CONTRACT, SHALL BE RESTORED TO THE CONDITION EXISTING AT THE TIME OF AWARD OF CONTRACT.
 - CONTRACTOR SHALL REPAIR ALL AREAS/SURFACES DAMAGED AS A RESULT OF DEMOLITION.

TENANT FINISHES

Lighting	2 x 4 - 4 tubes recessed fixture 1 fixture per 100 square feet of tenant area.
Ceiling	2 x 4 Acoustical tile ceiling & grid system one hour rated (where required by code).
Electrical outlets	Duplex outlets 15" A.F.F. one per 120 Square feet.
Electric service	200 AMP panel box with breakers. All lighting wired to panel box. Emergency lights and exit signs per Baltimore County Code.
Store Front	Per construction drawings with 3 x 7 or 6 x 7 entrances.
Toilet Room	One handicapped toilet room including: 1 water closet 1 lavatory 1 light fixture 1 exhaust fan 1 hollow core door with hardware 1 handicapped grasp bar 1 6 gallon hot water heater Drywall taped and ready for paint
Finishes	Floor - concrete slab ready for tenant finish Walls - taped and spackled - ready for paint Ceiling - 2 x 4 lay-in acoustical tile
Tenant Demising Wall	One hour rated-partition extending to the underside of the floor deck and sealed 3 5/8" metal studs at 24" o/c. Sound insulation to ceiling height.
HVAC System	Heating and Air Conditioning System sized at approximately 1 ton/400 square feet of tenant area. 1 diffuser per 15 lineal feet of air trunkline. Air Handler and Condensate wind complete with thermostat.

NOTES: Tenant to supply fire extinguishers

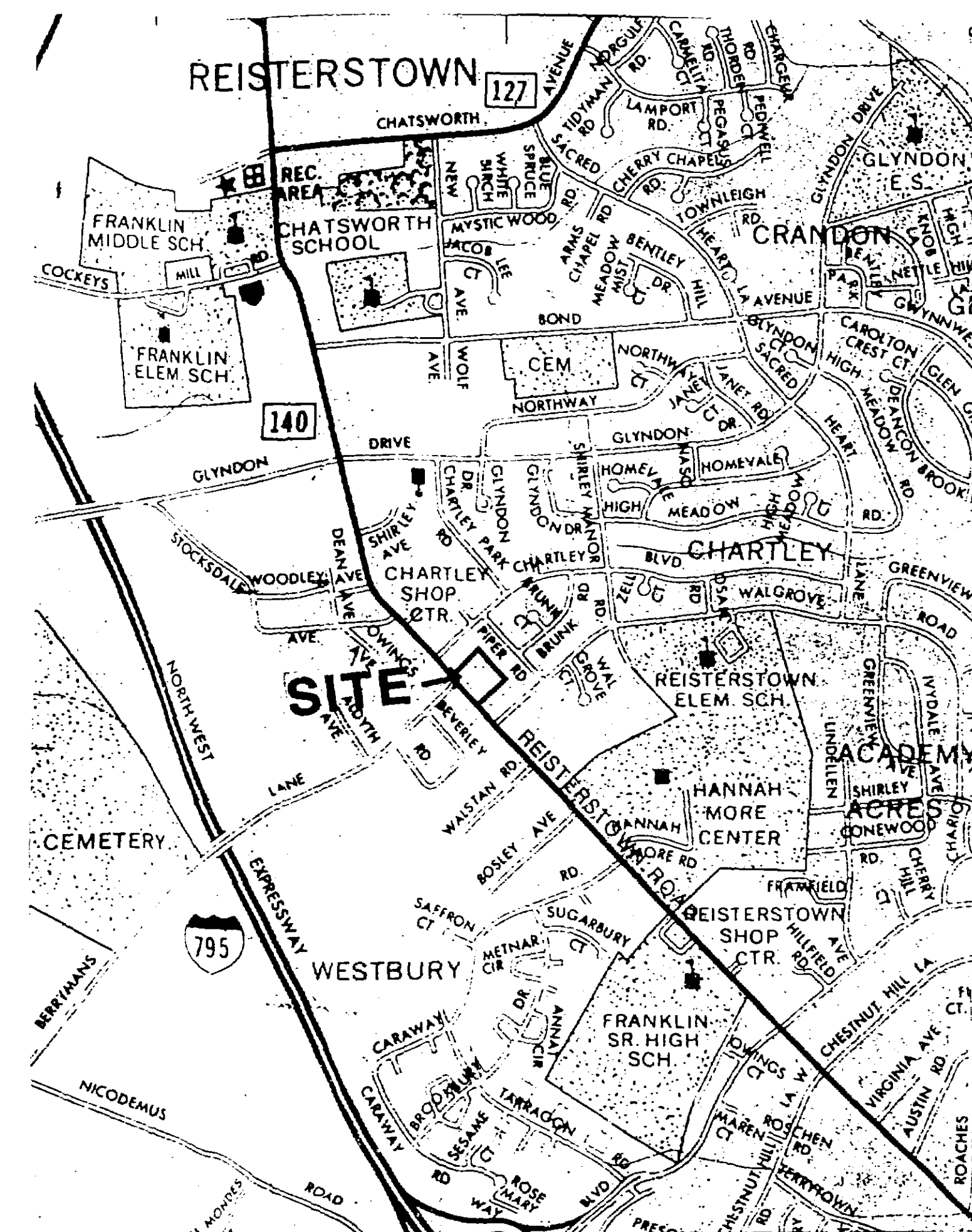
All of the above specification are subject to change where required by the Baltimore County Building Code.

CODE REVIEW

AREA TABULATIONS - (BOCA 1987)

1. Building Classified:	Mercantile M Assembly A-3 Business B
2. Type of Construction 2C, Noncombustible Unprotected (401)	
3. Area permitted for each occupancy (501)	
a. M Mercantile.....	9,600 Sq.Ft.
b. A-3 Assembly.....	8,400 Sq.Ft.
c. Business.....	14,400 Sq.Ft.
4. Area Increase per code	
Worse Occupancy.....	8,400 Sq.Ft. (501)
Perimeter Increase.....	12,600 Sq.Ft. (502.2)
Max Area	21,000 Sq.Ft.
Actual Footprint of Building	= 11,502 Sq.Ft.
5. Max Building Allowable Height = (501)	
a. Assembly.....	2 Stories - 30' Ft.
b. Mercantile.....	2 Stories - 30' Ft.
c. Business.....	3 Stories - 40' Ft.
d. Actual Building Height (mean hgt.).....	30' Ft.
6. Actual Building Area (Code)	
First Floor.....	10,530 Sq.Ft.
Second Floor (including walks).....	11,502 Sq.Ft.
Total	22,032 Sq.Ft.
7. Leasable Floor Area (outside to outside)	
First Floor.....	10,530 Sq.Ft.
Second Floor.....	9,720 Sq.Ft.
Total	20,250 Sq.Ft.
8. Maximum Occupant Load (806)	
Mercantile.....	30/SF = 675 People
Business Use.....	100/SF = 203 People
9. Length of Exit Access Travel (807), without fire suppression system = 200'.	
10. Each tenant space is to maintain a minimum of two exits per space (809.2).	

VICINITY MAP



LIST OF DRAWINGS

ARCHITECTURAL

C-5	GENERAL NOTES - LOCATION MAP - CODE RATE - LIST OF DRAWING
A-1	FIRST & SECOND FLOOR PLAN
A-2	ROOF PLAN & DETAILS
A-3	ELEVATIONS
A-4	CROSS SECTION
A-5	DETAIL & WALL SECTIONS

STRUCTURAL

S-1	FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING & NOTES
S-4	SECTIONS & DETAILS

MECHANICAL

M-1	HVAC PLAN & EQUIPMENT
-----	-----------------------

ELECTRICAL

E-1	ELECTRICAL PLAN
-----	-----------------

CHARTLEY OFFICE BUILDING
REISTERSTOWN, MARYLAND
BALTIMORE COUNTY

Revisions:

Released For:
☐ Preliminary Only
☐ Building
☐ Permits
☐ Construction

Date:
Project No.:
Drawn:
Designed:
Check:

Title:
COVER SHEET,
NOTES, LIST OF
DRAWINGS & CODE
REVIEW

C S

Plotted for Special Inspection
Case No. 91-123-XA